



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2021-005414

Application No. SI-2021-01031, SD-2021-00136, SD-2021-00137, SD-2021-00138, & SD-2021-00139

TO:

- ☒ Planning Department/Chair
- ☒ Hydrology
- ☒ Transportation Development
- ☒ ABCWUA
- ☒ Code Enforcement
- ☒ Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 8/4/2021 HEARING DATE OF DEFERRAL: 1/5/2022

SUBMITTAL

DESCRIPTION: Response to DRB Comments Letter, Revised Site Plan and Utility Plan, Revised Preliminary Plat,

Revised Infrastructure List, Revised Landscape Plan, Revised Civil Detail Sheet, Bus Shelter Exhibit, Gate Turnaround

Exhibit, and Draft Shared Access Easement and Maintenance Agreement.

CONTACT NAME: Vinny Perea

TELEPHONE: 505-858-3100 EMAIL: vperea@tierrawestllc.com



TIERRA WEST, LLC

December 20, 2021

Ms. Jolene Wolfley, DRB Chair
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: PR-2021-005414 RESPONSE TO DRB COMMENTS
TRACT F-4-A & F-6-A ATRISCO BUSINESS PARK UNIT 3
441 & 457 COORS BLVD NW**

Dear Ms. Wolfley:

The following items in this letter below provide the various adverse comments received from the Development Review Board plus responses for those comments as shown in bold for the approval request of Site Plan, Preliminary Plat, and Vacation of Easements.

ABCWUA Comments:

Per the comments received from The Water Authority dated December 8, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. Relocate the leader of the fireline connection on sheet C3.0 that is not pointing at any connection.
RESPONSE: Sheet C3.0 has been updated for removing the fireline connection callout.
2. Dedicate easement 14 as public waterline easement where not being relocated to the new easement.
RESPONSE: The plat has been revised so that the 20' public waterline easement being granted with this plat carries all the way to the south property line of Tract F-4-A-1.

Transportation Comments:

Per the comments received from The COA Transportation Department dated December 1, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. The plat must be in place prior to site plan approval along with the required shared access as part of the plat. Show maintenance and beneficiaries. (Note that the southern driveway crosses over into the southern property, and shared access shall be established. The plat mentions "to be granted by separate document").
RESPONSE: We currently have the draft shared access easement separate document undergoing final execution by both property owners. An unexecuted draft of this document is attached. This easement will be executed and recorded prior to the submittal of the final plat to DRB.
2. On the exhibit provided, label the 30-foot median extension to the south that matches the infrastructure list description.

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

RESPONSE: Both median turn lane extensions are now labeled and shown to match the descriptions of the infrastructure list.

3. Show 6-foot ADA pathway from the offices to the handicapped spaces. (A 5-foot ADA pathway is shown in most cases.)

RESPONSE: For San Roque, the office entrance is at the SE corner of the building. The pathway from these offices to the handicapped spaces is also the same ADA pathway to the public ROW (shaded as red on the site plan). This pathway is 7' wide from the offices to the handicapped spaces and is called out as such.

For La Serena the office entrance is at the NE corner of the 'knuckle' of the building. The pathway from this entrance to the handicapped spaces has a width of 6' minimum and is 7' at the ADA ramp and landing in front of the handicapped spaces. These widths are now shown on the site plan.

4. Reference exact curb ramp details on the plan at all locations. On handicapped space detail provided, make a reference to the adjacent curb ramp detail for clarity.

RESPONSE: Most ramps are parallel curb ramps and are now called out as such with Keyed Note 15. The only other ramp is a flared curb ramp at the main entrance to La Serena and is called out as such with Keyed Note 16. Both keyed notes refer to detail Sht C7.0, which has both ramp details and is included in this resubmittal.

5. Although a turnaround is included from the north access road, a turnaround is not included in front of the gate off of Coors Boulevard. (A hammerhead could be provided for this purpose.)

RESPONSE: A turnaround has been provided by modifying the curbs in front of the gate to have a turnaround diameter of 52' to allow passenger vehicles to turn around. This has been coordinated with Ms. Wolfenbarger who has deemed this turnaround adequate. The vehicle turnaround exhibit is also included in this resubmittal.

6. The sidewalk width shall be called out on the infrastructure list for Coors Boulevard.

RESPONSE: The sidewalk width is now called out on the infrastructure list, which is included in this resubmittal.

7. Light pole relocations should be included on the infrastructure list.

RESPONSE: The light pole relocations are now included on pg. 2 of the infrastructure list.

8. Dimension bike rack areas to insure a 2' x 6' space is provided for each bicycle space. (A detail can be added to show this graphic in addition to adding the notes.)

RESPONSE: The site plan now show a 4' x 6' dashed rectangle around each bike rack that is called out by Keyed Note 5. The Keyed Note refers to the Detail Sht. 7.0, which has been updated to show the bike rack in plan view with dimensions for a 2' x 6' space on each side of each rack. The notes of the bike rack detail also give additional notes and to refer to DPM and IDO requirements. 1' clear zone is also called out to be around the bike spaces and this is confirmed on the site plan sheet.

Hydrology Comments:

Per the comments received from The COA Hydrology Department dated August 4, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. Hydrology will require an approved Grading and Drainage Plan prior to approval of Preliminary Plat or Site Plan for Building Permit. Hydrology did send a comment letter (J10D049) on 7/6/21 and received a resubmittal on 11/10/21. This currently is #10 in the queue and will be looked at the week of January 3rd.

RESPONSE: We are currently awaiting the grading and drainage review. Date of deferral was based off of Hydrology's recommendation.

Parks and Recreation Comments:

Per the comments received from The COA Parks and Recreation Department dated August 4, 2021 for the subject cases' review, please find the following responses addressing the adverse comments listed below:

1. Site Plan shows street trees as previously commented, please label street on Landscape Plan.

RESPONSE: Coors Boulevard is now labeled on the Landscape Plan.

2. Please describe area between buildings at hearing – planter beds/pond?

RESPONSE: There is a small retention pond between the San Roque & La Serena buildings and will be landscaped as such.

3. Seeded/pond areas may need more information including seed mix per City spec and EPA standards (see Planning and Hydrology).

RESPONSE: Native Seed Mix and EPA standards can be seen on both the landscape plans and the notes of the Infrastructure Plan.

4. Please add note regarding organic mulch around trees per IDO 5-6(C)(5)(e): Organic Mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited.

RESPONSE: A planting note has been added to the landscape plan for this required language.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Vinny Perea, P.E.

KEYED NOTES

- 1 ACCESSIBLE PARKING PER ADA STANDARDS W/ SIGN & PARALLEL CURB RAMPS (SEE DETAILS SHT. C7.0)
- 2 ON-SITE STANDARD CURB & GUTTER (SEE DETAIL SHT. C7.1)
- 3 CONCRETE SIDEWALK (SEE DETAIL SHT. C7.1)
- 4 DUMPSTER (SEE ARCHITECTURAL PLANS)
- 5 BICYCLE RACKS & BICYCLE SPACES (SEE DETAIL SHT. C7.0)
- 6 TRANSFORMER
- 7 EXISTING SIDEWALK
- 8 DRIVABLE SURFACE FOR FIRE ACCESS (SEE ARCHITECTURAL PLANS)
- 9 GARAGE BUILDING—SAN ROQUE—6 BAY STANDARD (SEE ARCHITECTURAL PLANS)
- 10 GARAGE BUILDING—SAN ROQUE—6 BAY ADA (SEE ARCHITECTURAL PLANS)
- 11 GARAGE BUILDING—LA SERENA—6 BAY STANDARD (SEE ARCHITECTURAL PLANS)
- 12 GARAGE BUILDING—LA SERENA—6 BAY ADA (SEE ARCHITECTURAL PLANS)
- 13 MOUNTABLE CURB FOR FIRE ACCESS
- 14 ELECTRIC VEHICLE PARKING SPACES
- 15 PARALLEL CURB RAMP (SEE DETAIL SHT. C7.0)
- 16 FLAIED CURB RAMP (SEE DETAIL SHT. C7.0)

SAN ROQUE OPEN SPACE REQUIREMENTS

1-BEDROOM:	4 UNITS
2-BEDROOM:	90 UNITS
3-BEDROOM:	23 UNITS
OPEN SPACE REQUIRED:	(225 x 4) + (285 x 90) + (350 x 23) = 34,600 SF
OPEN SPACE PROVIDED:	40,825 SF

LA SERENA OPEN SPACE REQUIREMENTS

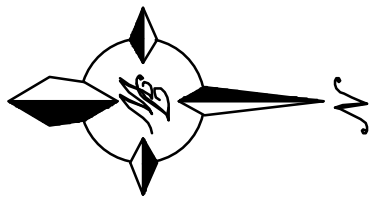
1-BEDROOM:	44 UNITS
2-BEDROOM:	30 UNITS
OPEN SPACE REQUIRED:	(225 x 44) + (285 x 30) = 18,450 SF
OPEN SPACE PROVIDED:	19,445 SF

TRASH COMPACTOR NOTES:

1. SAN ROQUE MAIN BUILDING TO HAVE TWO (2) INTERNAL TRASH CHUTE COMPACTOR ROOMS.
2. LA SERENA MAIN BUILDING TO HAVE ONE (1) INTERNAL TRASH CHUTE COMPACTOR ROOM.
3. EACH EXTERNAL DOUBLE ENCLOSURE SHOWN ON PLAN ARE TO HOUSE ONE (1) TYPICAL EXTERNAL DUMPSTER AND FOR STORAGE OF (1) 2-YARD ROLL-OUT DUMPSTER THAT SERVICES INTERNAL TRASH CHUTE COMPACTORS WITHIN THE SAN ROQUE AND LA SERENA MAIN BUILDINGS.
4. MAINTENANCE STAFF WILL BE REQUIRED TO PLACE 2-YARD DUMPSTERS FROM COMPACTORS IN THE EXTERNAL DOUBLE TRASH ENCLOSURES ON SERVICE DAY.

RECYCLABLES NOTES:

1. RECYCLABLES FOR SAN ROQUE AND LA SERENA MAIN BUILDINGS TO BE COLLECTED IN 90-GALLON BINS, STORED IN THE TRASH CHUTE ROOMS AND TO BE ROLLED OUT TO EXTERNAL ENCLOSURES BY MAINTENANCE STAFF ON SERVICE DAY.
2. 90-GALLON BINS TO BE PLACED IN EACH EXTERNAL ENCLOSURE FOR COLLECTION OF RECYCLABLES FROM THE GARAGE LOFT UNITS.



GRAPHIC SCALE

30 15 0 15 30

SCALE: 1"=30'

Approved for access by the Solid Waste Department
for 7-1b Herman Gallegos 12-20-21

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GENERAL NOTES

1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
7. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
8. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
9. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF.
10. MOTORCYCLE PARKING SPACES SHALL BE DESIGNATED BY ITS OWN CONSPICUOUSLY POSTED UPRIGHT SIGN, EITHER FREE-STANDING OR WALL MOUNTED PER THE ZONING CODE.
11. ALL ASPHALT IS LIGHT DUTY UNLESS OTHERWISE NOTED.

PROJECT NUMBER: PR-2021-005414

APPLICATION NUMBER: SI-2021-00301

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

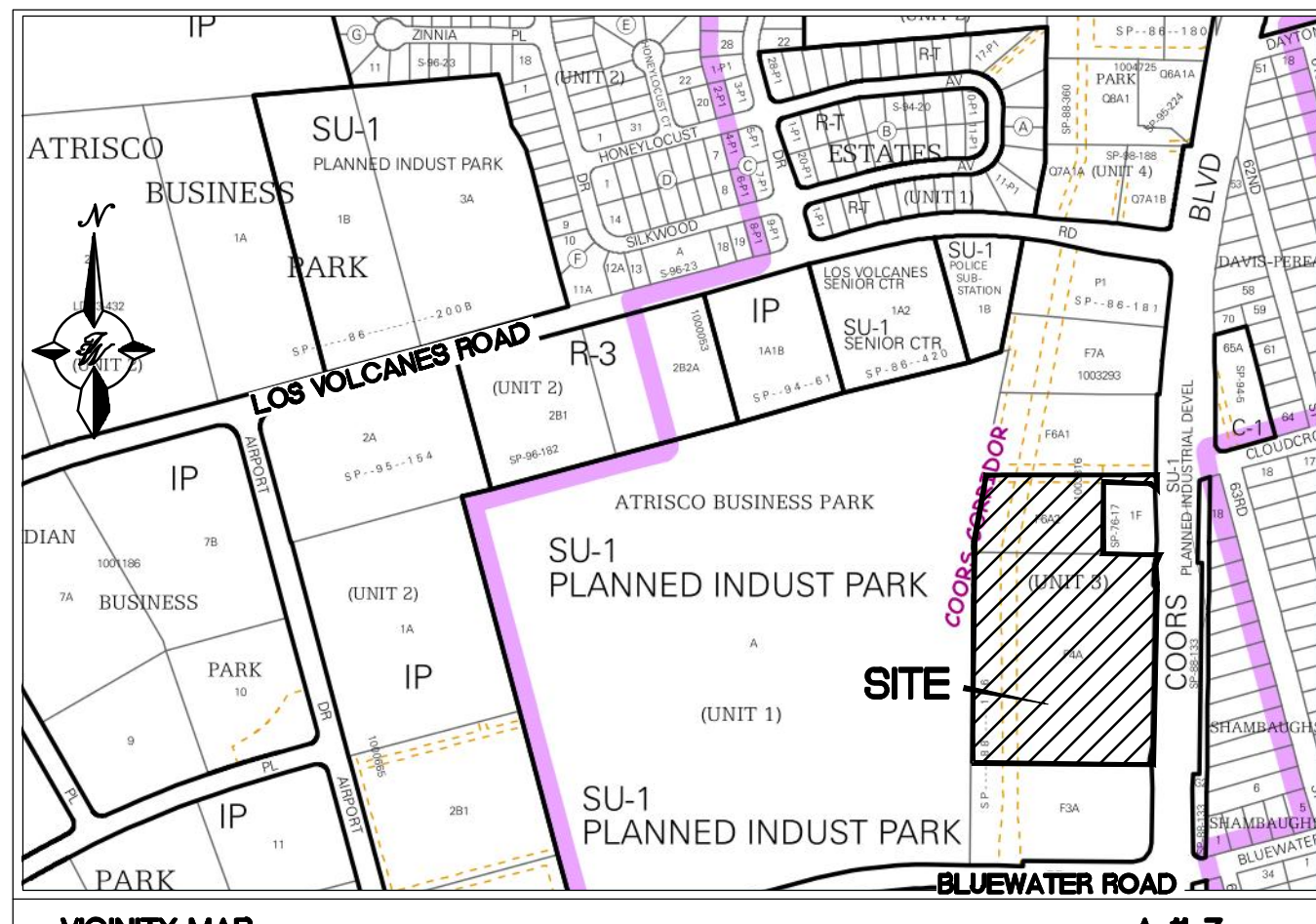
Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Herman Gallegos	12-20-21
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

SENIOR HOUSING NOTE:

ALL UNITS ASSOCIATED WITH THE LA SERENA DEVELOPMENT ARE INTENDED TO BE SENIOR HOUSING AND WILL BE REQUIRED AS SUCH.



LEGAL DESCRIPTION:

PROPERTY ADDRESS: (vacant land) on Coors Boulevard N.W., Albuquerque, New Mexico
U.P.C. No. 1-010-058-469-059-406-06
U.P.C. No. 1-010-058-472-018-406-05

LEGAL DESCRIPTION:

Tract F-4-A, of the Plot of Tracts F-3-A, F-4-A & F-6-A, ATRISCO BUSINESS PARK, UNIT 3, Albuquerque, New Mexico, as the same is shown and designated on the plot thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 29, 1988 in Plat Book C36, Folio 97. AND Tract F-6-A-2 of ATRISCO BUSINESS PARK, UNIT 3, as the same is shown and designated on the plot thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2004 in Plat Bk. 2004C, Page 388.

GROSS AREA OF SURVEY: 8.9567 Ac., more or less.

SITE DATA - SAN ROQUE

PROPOSED USAGE: MULTI-FAMILY AFFORDABLE HOUSING
IDO CLASSIFICATION: RESIDENTIAL MULTI-FAMILY
PROPOSED LOT AREA: 6.22 ACRES (270,843 SF)

MAIN BUILDING AREA: 161,282 SF
GARAGE BLDG AREA (EA): 6-BAY STANDARD = 1,450 SF
TOTAL BUILDING AREA: 6-BAY ADA = 1,642 SF
175,974 SF

MAIN BUILDING UNITS: 117 UNITS
TOTAL UNITS: 117 UNITS

PARKING REQUIRED: 176 SPACES (1.5 SPACES/DU)

W/ 30% REDUCTION (TRANSIT PROXIMITY + MT CORRIDOR IN AREA OF CHANGE): 176-(176*0.3) = 124 SPACES

SITE DATA - LA SERENA

PROPOSED USAGE: SENIOR LIVING AFFORDABLE HOUSING
IDO CLASSIFICATION: RESIDENTIAL MULTI-FAMILY
PROPOSED LOT AREA: 2.73 ACRES (119,313 SF)

MAIN BUILDING AREA: 78,024 SF
GARAGE BLDG AREA (EA): 6-BAY STANDARD = 1,450 SF
TOTAL BUILDING AREA: 6-BAY ADA = 1,642 SF
81,116 SF

MAIN BUILDING UNITS: 74 UNITS
TOTAL UNITS: 74 UNITS

PARKING REQUIRED: 111 SPACES (1.5 SPACES/DU)

W/ 30% REDUCTION (TRANSIT PROXIMITY + MT CORRIDOR IN AREA OF CHANGE): 111-(111*0.3) = 78 SPACES

SITE PARKING DATA - OVERALL

TOTAL PARKING REQUIRED: 124 + 78 = 202 SPACES
TOTAL PARKING PROVIDED*: 277 SPACES

ADA PARKING SPACES REQUIRED: 12 SPACES
ADA PARKING SPACES PROVIDED: 20 SPACES
VAN ACCESSIBLE REQUIRED: 2 SPACES
VAN ACCESSIBLE PROVIDED: 20 SPACES

ELECTRIC VEHICLE SPACES REQUIRED: 6 SPACES
ELECTRIC VEHICLE SPACES PROVIDED: 8 SPACES

BICYCLE PARKING REQUIRED: 21 SPACES
BICYCLE PARKING PROVIDED: 24 SPACES

*SHARED PARKING AND ACCESS AGREEMENT BETWEEN SAN ROQUE AND LA SERENA LOTS TO BE GRANTED DURING REPLAT OF PROPERTIES

LEGEND

—	PROPOSED CURB & GUTTER
---	BOUNDARY LINE
▬	BUILDING
▬	SIDEWALK
—○—	PERIMETER FENCE
---	EXISTING CURB & GUTTER
---	PROPOSED BOUNDARY LINE
▬	CONCRETE VALLEY GUTTER
▬	PARKING COUNT
(#)	EV CHARGING STATION
▬	DRAINAGE INLET
▬	CLEAR SIGHT TRIANGLE
▬	ADA ROUTE FROM ROW

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



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san roque & la serena
457 coors blvd. nw
albuquerque, new mexico 87121

revision:
no. desc. date
F VE/ES/CC 12.13.21

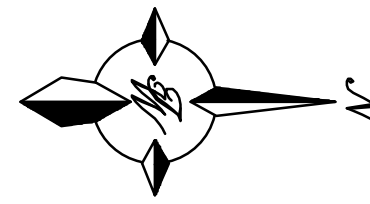
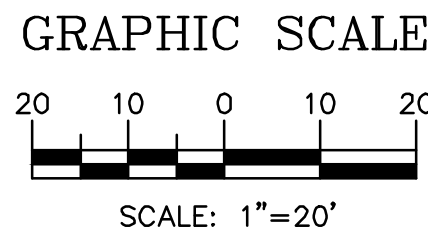
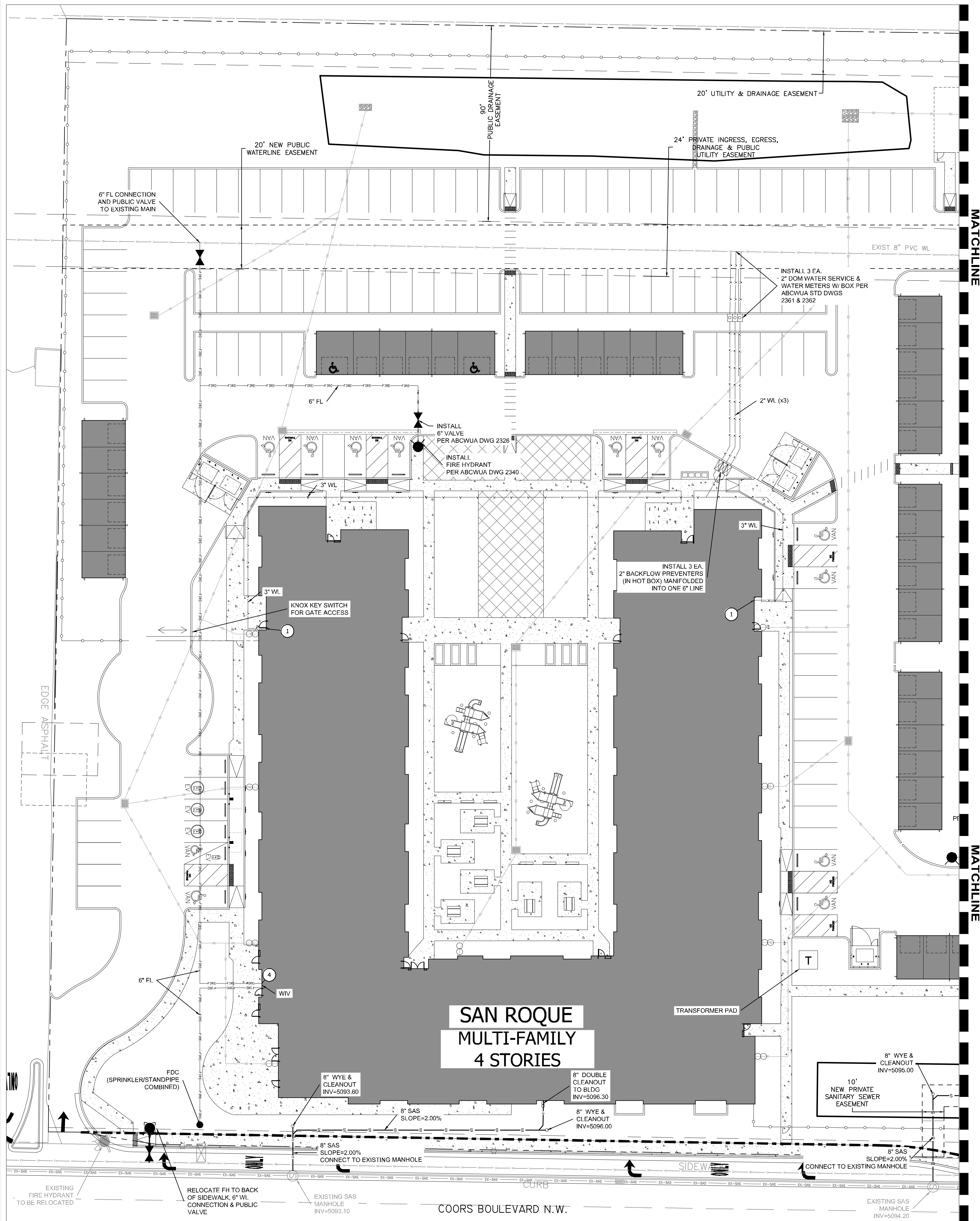
project: 2020010
date: 12.13.2021
drawn: vp, bf
checked: vp

Permit Set

Site Plan For
Building
Permit

c1.0

\\TINAS3\Z_Drive\2020\2020010 Coors and Bluewater Zone Change\Map\DRB\2020010-Multi.dwg Dec 16, 2021 12:19pm



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	STORM DRAIN
	WATER LINE
	6" FIRE LINE
	SANITARY SEWER
	PROPOSED WATER METER
	PROPOSED BACKFLOW PREVENTER W/ HOTBOX
	PROPOSED VALVE
	PROPOSED FIRE HYDRANT
	EXISTING CURB & GUTTER
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE

KEYED NOTES

- 1 3" DOMESTIC WL CONNECTION TO BUILDING (SEE PLUMBING PLANS FOR CONTINUATION)
- 2 1-1/4" DOMESTIC WL CNNTION TO BUILDING (SEE PLUMBING PLANS FOR CONTINUATION)
- 3 1-1/2" DOMESTIC WL CNNTION TO BUILDING (SEE PLUMBING PLANS FOR CONTINUATION)
- 4 6" FIRELINE AND/OR FDC CONNECTION TO BLDG RISER ROOM (REFER TO PLAN FOR REMOTE FDC AS NECESSARY)

CAUTION:

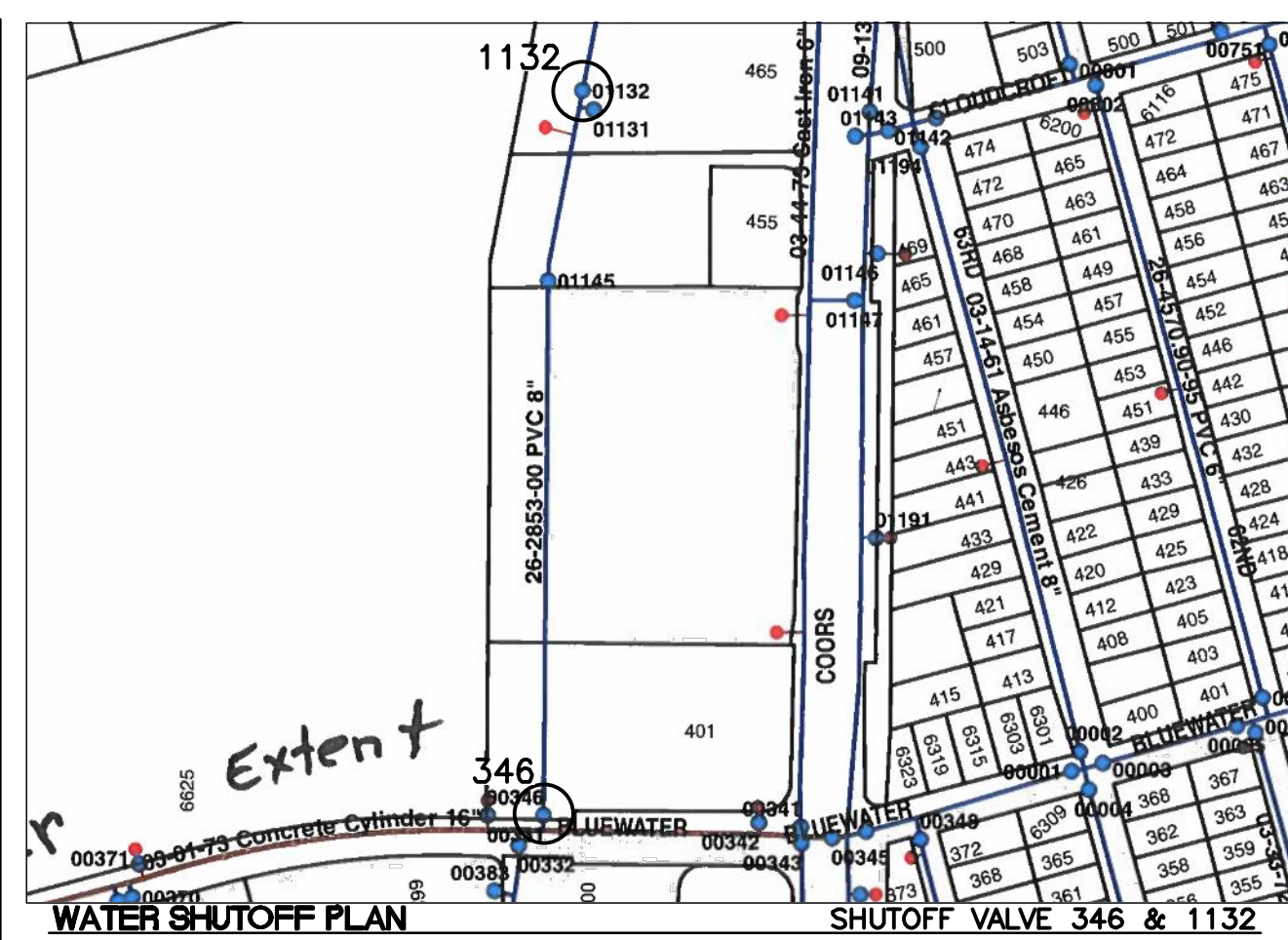
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

	HEADER CURB
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED WATER METER

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION, 1986 EDITION (UPDATE NO 8) INCLUDING AMENDMENT NO 1.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
9. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
10. ALL ONSITE FIRE HYDRANTS ARE PRIVATE AND PAINTED "SAFETY ORANGE"



WATER SHUTOFF NOTES

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://WWW.ABCWUA.ORG/WATER SHUT OFF AND TURN ON PROCEDURES.ASPX](http://www.abcwua.org/water-shut-off-and-turn-on-procedures.aspx)

san roque & la serena
457 coors blvd. nw
albuquerque, new mexico 87121

revision:
no. desc. date

project: 2020010
date: 11.10.2021
drawn: vp, bf
checked: vp

Permit Set

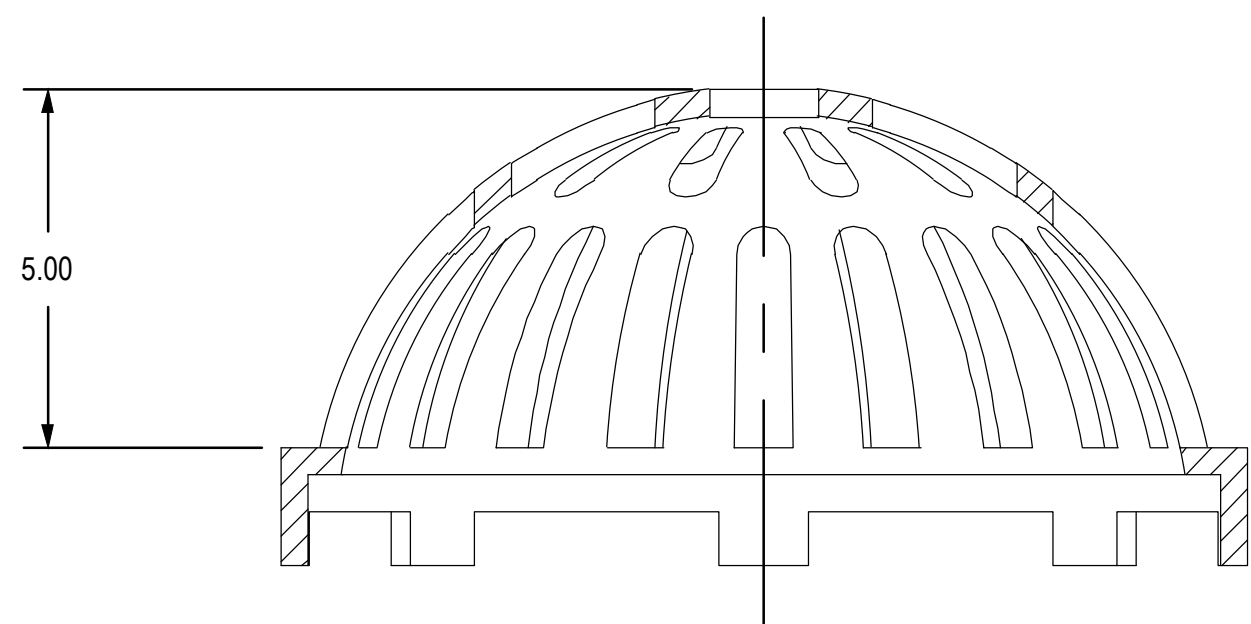
Master
Utility Plan
San Roque
c3.0

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APPROX. DRAIN AREA = 82.87 SQ IN
APPROX. WEIGHT = 18.50 LBS



DIMENSIONS ARE FOR REFERENCE ONLY
ACTUAL DIMENSIONS MAY VARY
DIMENSIONS ARE IN INCHES
QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT
LOCKING DEVICE AVAILABLE UPON REQUEST

Diagram illustrating the cross-section of a concrete curb. The curb is 8" wide and 6" high. It is constructed from concrete (CONC.) and is reinforced with #4 REBARS. The curb is set in a 1/2" EXP. JT. & SEALANT. The curb is adjacent to a 1/2" RADIUS EDGE PAVING. The curb is supported by a 6x6 W2.9xW2.9 W.W.F. (Wood-Working Form).

The diagram illustrates a variable message sign (VMS) system. It features a signpost with two sign types: a rectangular sign (R7-8) and a smaller, diamond-shaped sign (R7-9A). The rectangular sign displays a black circle with a white 'X' and the text 'NO LEFT TURN'. The diamond-shaped sign displays a black circle with a white 'X' and the text 'NO LEFT TURN'. The signpost is labeled '2" DIA. x 188 GALV. STEEL PIPE'. The base of the signpost is labeled '1'-6" DIA. CONC. BASE 3000 PSI'. The diagram also shows a 'PAVING AREA' and a 'TRAFFIC AREA'. Dimensions are indicated: '60" MIN. ABOVE GROUND' for the sign height, '60" MIN. ABOVE GROUND' for the sign height, and '60" MIN. ABOVE GROUND' for the sign height. The diagram includes the following text:

- NON-VAN ACCESSIBLE SPACES
BOTTOM OF THIS SIGN
60" MIN. ABOVE GROUND
ANSI 502.7
- VAN ACCESSIBLE SPACES
BOTTOM OF THIS SIGN
60" MIN. ABOVE GROUND
ANSI 502.7
- REQUIRED LANGUAGE PER
NMSA 197866-7-352.4C
(Violators are subject to a
fine and/or towing)
- SIGN TYPE R7-8 (12"x18")
SIGN FIELD IS WHITE
SIGN LETTERING AND BORDER ARE GREEN
INTERNATIONAL SYMBOL OF ACCESSIBILITY
IS WHITE ON A BLUE BACKGROUND
- SIGN TYPE R7-9A (6"x12")
SIGN FIELD IS WHITE
SIGN LETTERING AND BORDER ARE GREEN
- REQUIRED LANGUAGE
(VAN ACCESSIBLE)
PER ANSI 502.7
- 2" DIA. x 188 GALV.
STEEL PIPE
- WHEN SIGN IS IN PAVED AREAS,
USE 4" PIPE BOLLARD FILLED
W/ CONCRETE AND PAINTED
TRAFFIC YELLOW
- PAVING AREA
- 1'-6" DIA. CONC.
BASE 3000 PSI

The diagram shows a rectangular area defined by dashed lines. A central vertical rectangle represents the bicycle rack. The horizontal distance from the left edge of the rack to the left edge of the dashed box is labeled $2'$. The horizontal distance from the right edge of the rack to the right edge of the dashed box is also labeled $2'$. The vertical distance from the top edge of the rack to the top edge of the dashed box is labeled $2'$. The vertical distance from the bottom edge of the rack to the bottom edge of the dashed box is labeled $2'$. The label "BICYCLE SPACE" points to the left side of the dashed box. The label "BICYCLE RACK" points to the central vertical rectangle. The label $2'$ is placed near the bottom right corner of the dashed box.

SANITARY SEWER CLEAN-OUT

NTS

6" ABOVE GROUND

LANDSCAPING

PAVING

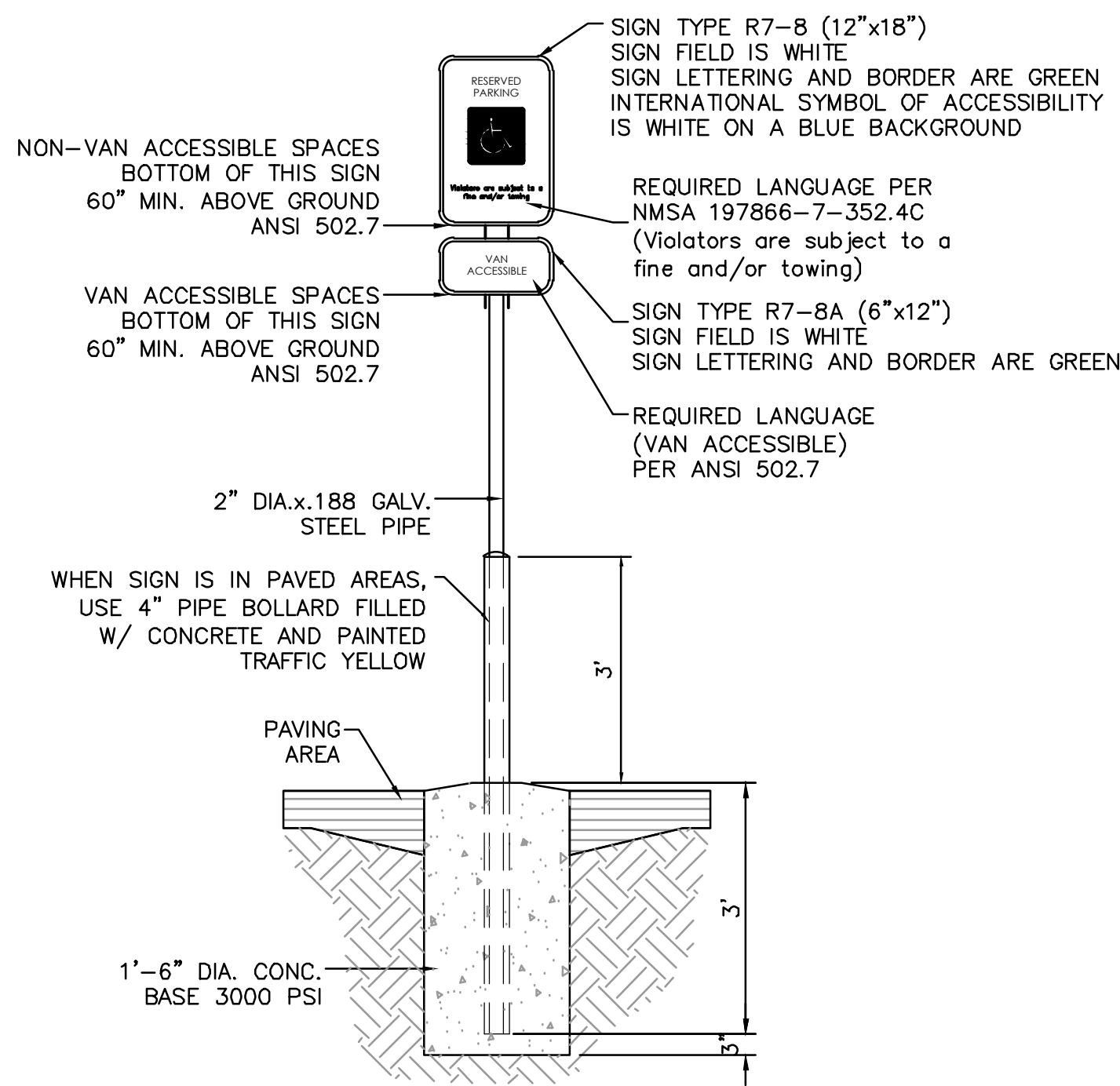
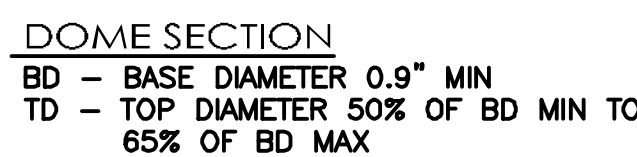
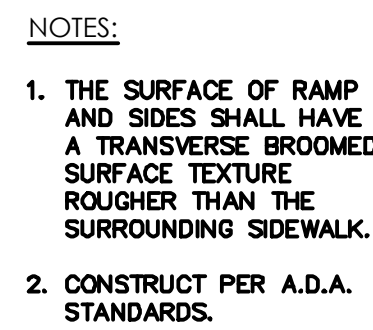
The image contains two cross-sectional diagrams of a trenchless sewer repair. The left diagram shows a trenchless repair with 'ROVE GROUND' and 'LANDSCAPING' labels. The right diagram shows a trenchless repair with a 'PAVING' label.

3" ASPHALTIC CONCRETE

6" AGGREGATE BASE COURSE TO BE COMPACTED TO A MINIMUM DENSITY OF 95%

2" ASPHALTIC CONCRETE

6" AGGREGATE BASE COURSE TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557



The diagram shows a rectangular area defined by dashed lines. The width is divided into three sections: two sections of width $2'$ on the left and right, and a central section of width $2'$. The height is labeled $7'$. A vertical rectangle representing a bicycle rack is positioned in the central section. Labels with arrows point to the left and right sections, both labeled "BICYCLE SPACE". A label "BICYCLE RACK" points to the central rectangle.

SANITARY SEWER CLEAN-OUT

NTS

6" ABOVE GROUND

LANDSCAPING

PAVING

The image contains two cross-sectional diagrams of a trenchless sewer repair. The left diagram shows a trenchless repair with 'ROVE GROUND' and 'LANDSCAPING' labels. The right diagram shows a trenchless repair with a 'PAVING' label.

3" ASPHALTIC CONCRETE

6" AGGREGATE BASE COURSE TO BE COMPACTED TO A MINIMUM DENSITY OF 95%

2" ASPHALTIC CONCRETE

6" AGGREGATE BASE COURSE TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557

NOTES:

- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
- 2) Parking space lines and diagonal striping to be painted blue.
- 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
- 4) ADA parking areas - not to exceed a slope greater than 2% in any direction

2% CROSS SLOPE MAX.
RAMP (BEYOND) RETAINING CURB

6" 4" 6" CURB (BEYOND) CONCRETE FLUSH WITH PAVEMENT PAVEMENT

SUBGRADE COMPACTED AS SPECIFIED

SECTION A-A

4" 6" 10" 11" RAMP

IF CHANGE IN DIRECTION OF F RAMP EXCEEDS 30 FEET

4" 6" 10" 11" RAMP

4" THICK CONCRETE SIDEWALK SECTION 1:20 MAX.

5' MIN.

MONOCURB CONCR. HANDICAP RAMP: SMOOTH TEXTURE FINISH W/ 1/2" DEEP GROOVES 2" O.C.

INSTALL TRUNCATED DOME SPACING PER DETAIL THIS SHEET

MONOCURB CONCRETE HANDICAP RAMP: SMOOTH TEXTURE FINISH W/ 1/2" DEEP 1/2" WIDE GROOVES 2" O.C.

CONCRETE CURB & GUTTER

ADA PARKING SPACE NOTES:

- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
- 2) Parking space lines and diagonal striping to be painted blue.
- 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
- 4) See this sheet for HC Parking Sign Detail.
- 5) Parking spaces shall have a slope that does not exceed 2% in any direction

NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR (FINISH). SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
4. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND BIKE SPACE.
5. EACH BIKE RACK SPACE SHALL BE AT LEAST 8 FEET LONG AND 2 FEET WIDE.
6. EACH BIKE RACK SPACE SHALL MEET OIA ID # 61M & DFM REQUIREMENTS.

MADRIX DIVISION
GRABER MANUFACTURING, INC.
1080 UNKEB DRIVE
WALWAUKE, WI 53597
P(800) 446-7931, P(608) 844-1080, F(608) 849-1081
WWW.MADRIX.COM, E-MAIL: SALES@MADRIX.COM

21 7/8"

PRODUCT: U238-IG(SF)
DESCRIPTION: 'U' BIKE RACK
2 BIKE, SURFACE
OR IN GROUND MOUNT

DATE: 10-4-18
ENG: SMC

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Diagram illustrating a Surface Flange Mount (SF) configuration. The diagram shows a cross-section of a concrete surface with a square hole. A spike is shown passing through the hole, and a concrete flange is shown on the surface. Labels include: DESIRED MOUNT, 1/8" THICK SQ. HOLE TYP., SPIKE, CONCR, and SURFACE FLANGE MOUNT (SF).

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san roque & la serena
457 coors blvd. nw
albuquerque, new mexico 87121

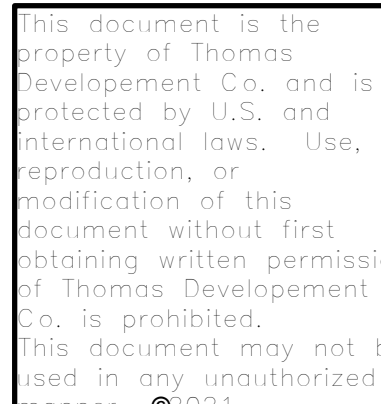
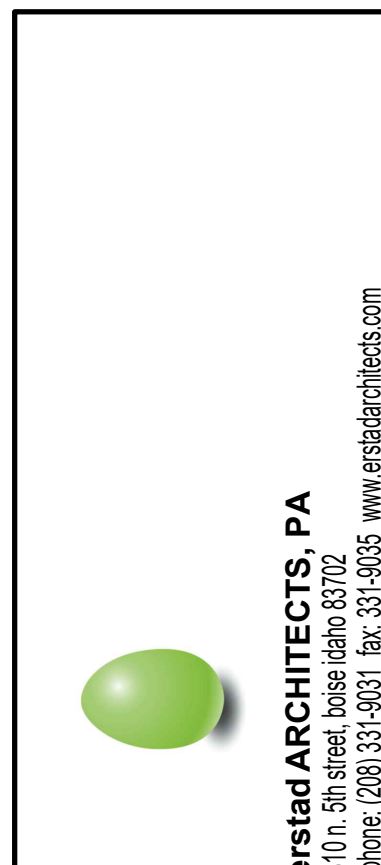
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no.	desc.	date

project: 2020010
date: 11.10.2021
drawn: vp,bf
checked: vp

Permit Set

Civil Details

c7.0

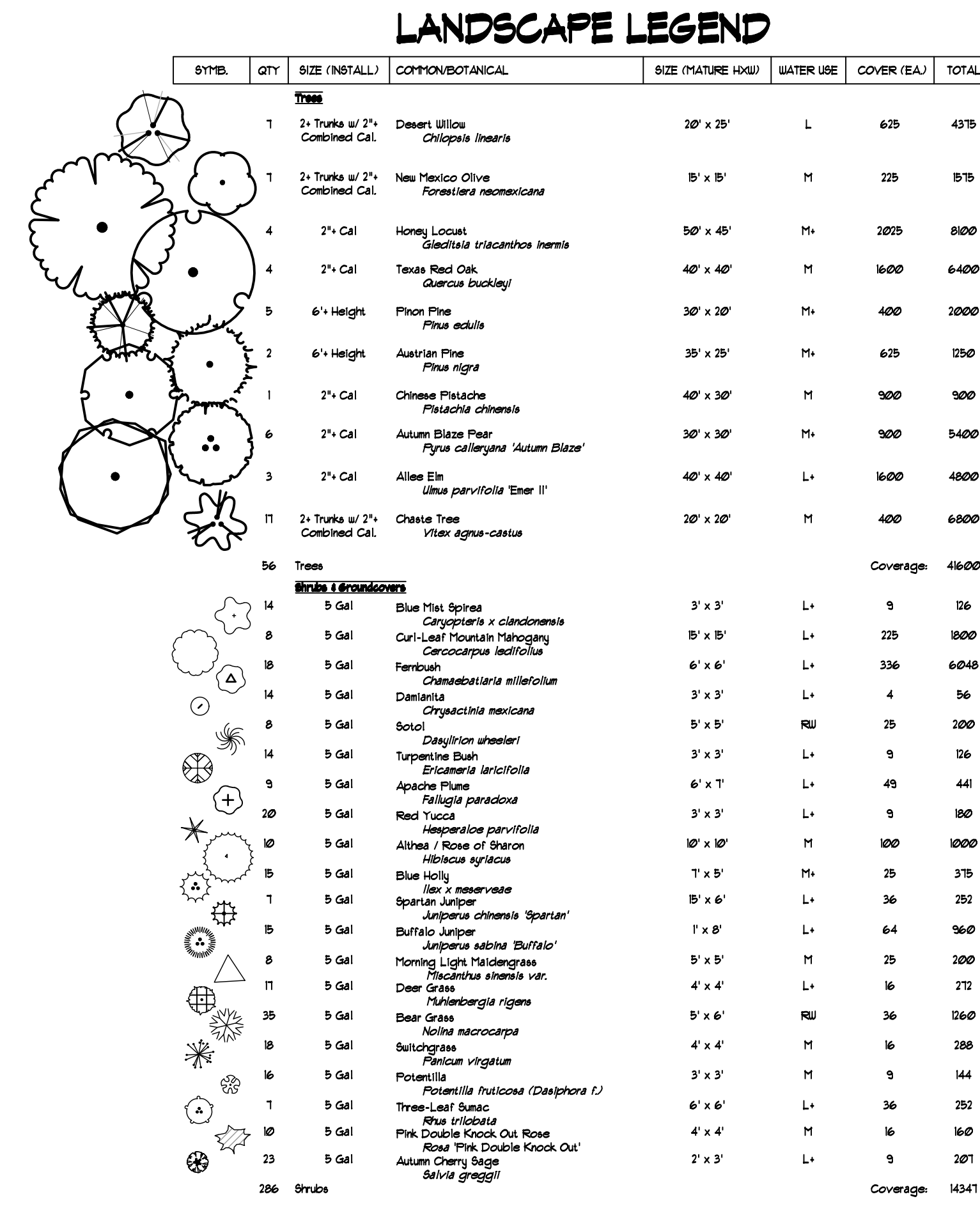







la serena
441 Coors Blvd. NW,
Albuquerque, New Mexico,
87121

project: 200207
date: 12/13/21
drawn: jfl
checked: Checked

permit set

landscape
plan
L1.20



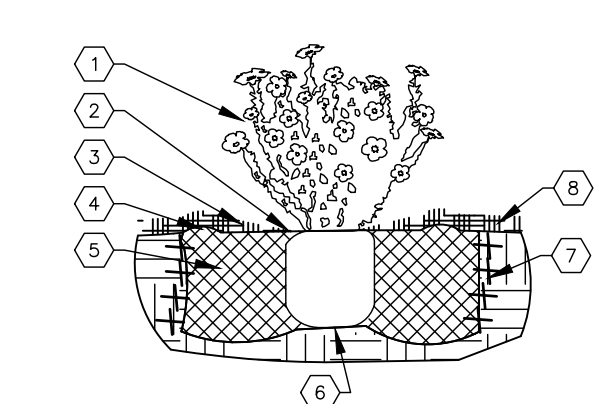
Other Materials		
QTY.	QTY	TYPE
	10440 SF	Crusher Fines
		Over Aggregate Basecourse
24564 SF		Landscape Gravel / w/ Filter Fabric Color and Size, Und
5626 SF		Overlain Landscape Gravel / No Filter Fabric 2" - 4" Regular Gravel/Graying
		Concrete
		Asphalt Parking Drives and Driveways
		Stormwater Management Depression

<u>LANDSCAPE CALCULATIONS</u>			
ZONING	X		
APPLICABLE REGULATION(S)		IDO 14-16-5-6 AND PART 6-6-2 OF R.O.A 1994	
TOTAL LOT AREA (ACRES)	4.86	GROUND COVER (%) - REQ)	25.00
TOTAL LOT AREA (SF)	211702	GROUND COVER (SF - REQ)	31458
BUILDING AREA (SF)	49145	GROUND COVER (SF - PROV.)	33761
NET LOT AREA (SF)	161557		
		PARKING LOT AREA (SF)	79550
REQUIRED LANDSCAPE (%)	15	REQ. PARKING LANDSCAPE 10% (SF)	7955
REQUIRED LANDSCAPE (SF)	24293	PROV. PARKING LANDSCAPE (SF)	35644
LANDSCAPE PROVIDED (SF)	125630	REQ. PARKING TREES (1/10 SPOTS)	21
		PROV. PARKING TREES	54
VEGETATIVE COVER (%) - REQ)	75.0		
VEGETATIVE COVER (SF - REQ)	94373	COOL SEASON GRASS (SF)	5139
VEGETATIVE COVER (SF - PROV.)	111750	COOL SEASON GRASS (% OF LANDSCAPE)	41
REQ. TREES - 1ST AND 2ND STORY UNITS	15	REQUIRED STREET TREES	24
PROVIDED UNIT TREES	180	PROVIDED STREET TREES	210

COORS BOULEVARD N.W.

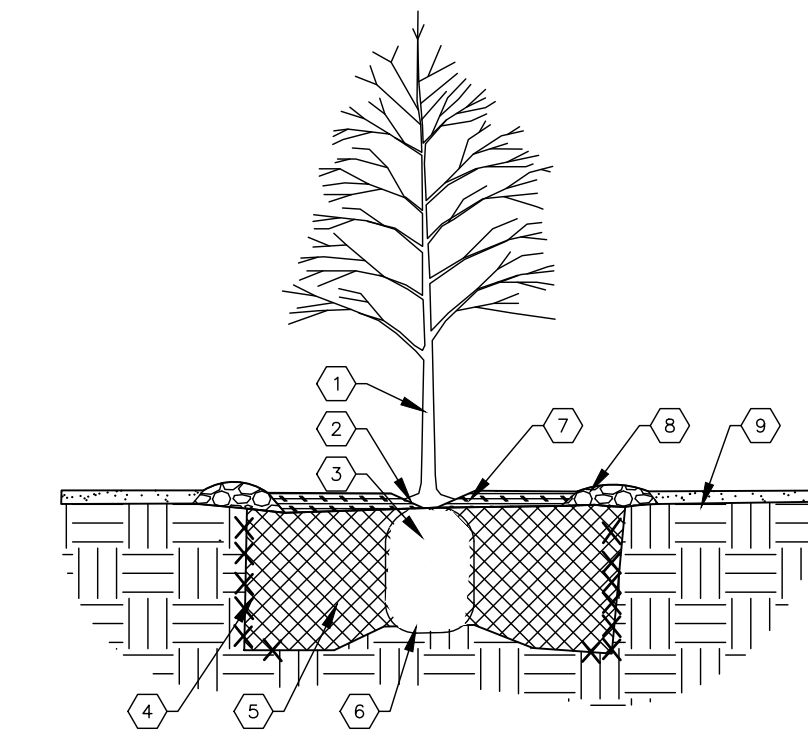
☐ SHEET KEYED NOTES

<u>CODE</u>	<u>DESCRIPTION</u>
1.	Raised Planter Beds
2.	Landscaping, Signage, Walls, Fences, Trees and Shrubbery Between 3' and 8' Tall (as Measured From Gutter Pan) are Not Allowed Within The Clear Sight



SHRUB PLANTING KEYED NOTES

1. SARIUS LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
3. USE 100% CHIP MULCH OVER ROOTBALL, FEATHERED TO A 2" DEPTH AND HEILD BACK 2" FROM TRUNKS AND STEMS.
4. 2" HIGH X 4" WIDE BERRY BASKET.
5. BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL.
7. SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
8. MULCH - SEE PLANTING PLAN 3" DEPTH UNLESS OTHERWISE NOTED.



TREE PLANTING KEYED NOTES

1. TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
3. INSTALL TREE PLUMES. REMOVE UREI BASKET, WOOD BOX, PLASTIC, TUNE, AND/OR ROME BAGS. REMOVE BLACKFLY. REMOVE EXCESS MULCH FROM BOTTOM OF ROOT BALL.
4. SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
5. BLACKFLY PER SPECIFICATIONS. LIGHTLY TAMP IN LEAFS AND WATER-IN TO ELIMINATE Voids AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
7. INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND BELOW DRIP LINE.
8. GENERAL: MULCH SHOULD BE HELD AT BACK OF TREE TRUNK.
9. 4" HIGH X 16" WIDE CORBEL BERM AT DRIP LINE.

PLANTING NOTES

ALL PLANTS TO CONTAIN BARK MULCH AROUND THE FOOTBALL, TO THE EXTENT TO COVER THE DRIP LINES.

GENERAL NOTES

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT AND ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT AND ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

WATER WASTE ORDINANCE PLANTING RESTRICTION
APPROACH: APPROVAL OF THIS PLAN DOES NOT
CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE
PROVISIONS OR THE WATER CONSERVATION LANDSCAPING
AND WATER WASTE ORDINANCE.

ALL GRAVEL SHALL BE PLACED 5'-1" LOWER THAN
ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL
VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A
DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND
ACTUAL FIELD CONDITIONS, CONTRACTOR SHALL CEASE
WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY
FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO
REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNERS RESPONSIBILITY TO ENSURE THAT RUGTIVE OPERATIONS DO NOT LEAD TO EQUIPMENT DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-PIPE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE AUTOMATIC DRIP IRRIGATION WITH SUBINTERNEAN LATERALS TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL FLOW RATE OF 6 GPH. PER TREE. TURF GRASS SHALL RECEIVE ONE (1) NETAFIM SPAL, HAVE EMITTERS 12" OC. WITH A FLOW OF 6 GPH. SHRUBS TO RECEIPTS (2) 10 GPH DRIP EMITTERS. DRIP AND DOUBLER SYSTEMS TO BE TIED TO 1/2" POLYETHYLENE WITH FLUSH GAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE 15 MIN. PER TURF DRIP VALVE

SHALL RUN 15 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

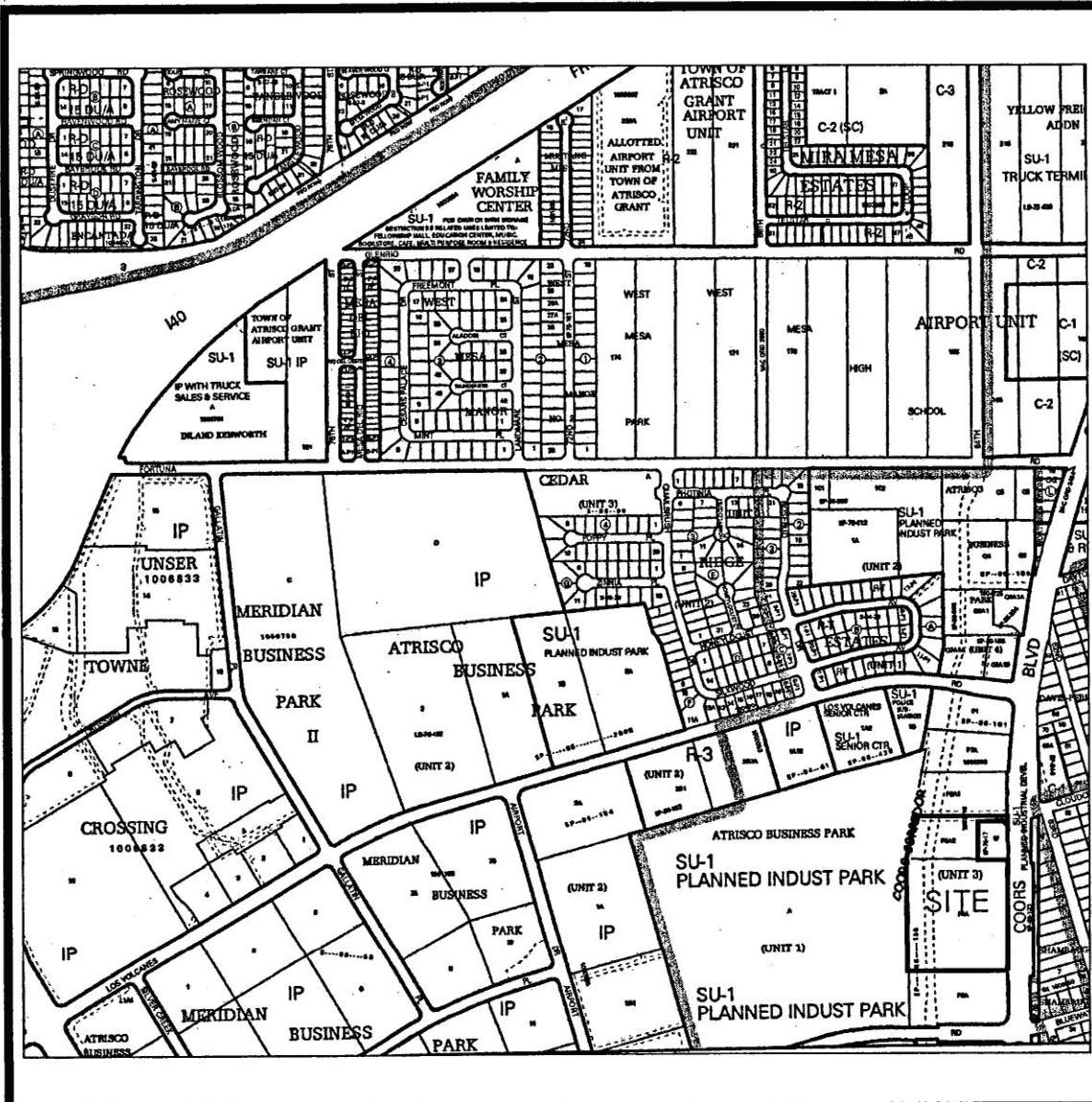
POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND WATER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

A north arrow pointing upwards and a graphic scale bar. The scale bar is labeled "GRAPHIC SCALE" and has markings for 20, 10, 0, 10, and 20. Below the bar, it says "SCALE: 1" = 20'-0"



VICINITY MAP ZONE ATLAS PAGE J-10

UTILITY APPROVALS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

APPROVED: _____ DATE _____
A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, other equipment and related facilities reasonably necessary to provide electrical services.

APPROVED: _____ DATE _____
B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.

APPROVED: _____ DATE _____
C. Qwest Corporation d.b.a. Century Link QC for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services.

APPROVED: _____ DATE _____
D. Comcast Cable for the installation, maintenance and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable tv services.

INCLUDED, is the right to build, rebuild, construct, reconstruct, locate, relocate within the easement, change, remove, replace, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from and over said easements, with the right and privilege of going upon, over and across adjoining lands of grantor for the purposes set forth herein and with the right to utilize the right of way and easment to extend services to customers of grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER:
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a title search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

U.P.C. No. 1-010-058-469-059-406-06 (Tr. F-6-A-2)
U.P.C. No. 1-010-058-472-018-406-05 (Tr. F-4-A)

LEGAL DESCRIPTION:
Tract F-4-A, of the Plat of Tracts F-3-A, F-4-A & F-6-A, ATRISCO BUSINESS PARK, UNIT 3, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 29, 1988 in Plat Book C36, Folio 97.
AND
Tract F-6-A-2 of ATRISCO BUSINESS PARK, UNIT 3, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2004 in Plat Bk. 2004C, Page 388.

FREE CONSENT and DEDICATION:
The undersigned owner(s) do hereby consent to the platting of said property as shown hereon and the same is with their free consent and in accordance with their desires. The undersigned individuals hereby represent themselves as authorized to so act. The undersigned hereby grant the easement(s) as shown and noted hereon. The undersigned hereby dedicates, in fee simple, the additional public right of way as shown hereon to the public use forever. The undersigned warrant that they hold among them complete and indefeasible title in fee simple to the subdivided property.

Owner _____

ACKNOWLEDGEMENT

State of New Mexico)
County of Bernalillo)ss

This instrument was acknowledged before me on _____, 20____

BY: _____

My Commission expires: _____
Notary Public

SURVEYOR'S CERTIFICATE:
I, Gary E. Gritsko, a duly qualified New Mexico Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that it shows all easements as shown on the plat of record or made known to me by the owners of the subdivision shown hereon, utility companies and other parties expressing an interest and that it meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further that it meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Gary E. Gritsko
Gary E. Gritsko, N.M.P.S. No. 8686

December 2, 2021
Date



COUNTY CLERK RECORDING STAMP

PLAT OF
Tracts F-6-A-2-A & F-4-A-1, Unit 3,
ATRISCO BUSINESS PARK,
within the Town of Atrisco Grant,
projected Section 15, T.10N., R.2E., N.M.P.M.,
City of Albuquerque, Bernalillo County, New Mexico
December 2021

PURPOSE OF PLAT:
The purpose of this plat is adjust the lot line between two (2) existing tracts, to vacate certain easements, to grant additional easements and to dedicate additional public right of way.

CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD APPROVALS:

PROJECT NO. _____ APPLICATION NO. _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

PARKS & RECREATION DEPARTMENT _____ DATE _____

A.B.C.W.U.A. _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

CITY ENGINEER _____ DATE _____

TRAFFIC ENGINEERING _____ DATE _____

CITY SURVEYOR _____ DATE _____

BERNALILLO COUNTY TREASURER'S CERTIFICATE:
THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: _____

PROPERTY OWNER OF RECORD _____

Bernalillo County Treasurer _____ Date _____

SHEET 1 OF 2

ALPHA PRO SURVEYING LLC
1436 32ND CIRCLE SE, RIO RANCHO, NEW MEXICO 87124
PHONE (505) 892-1076 ALPHAPROSURVEYING.COM
DRAWN BY: GG FILE NO. 20-019

PLAT OF
Tracts F-6-A-2-A & F-4-A-1, Unit 3,
ATRISCO BUSINESS PARK,
within the Town of Atrisco Grant,
projected Section 15, T.10N., R.2E., N.M.P.M.,
City of Albuquerque, Bernalillo County, New Mexico
December 2021

SURVEY AND SUBDIVISION NOTES:

- Bearings are based on NM State Plane grid bearings, Central zone, NAD83, rotated at AGRS Control Station "9_K10".
- Distances are horizontal ground distances in US survey feet.
- Bearings and distances in parenthesis () are record dimensions, where record dimensions differ from actual measurements.
- This plat shows all easements of record made known to this surveyor.
- Gross subdivision area: 8.9568 Acres, more or less.
- Number of existing lots: 2
- Number of lots created: 2
- FLOOD ZONE:** The property shown hereon is located in Zone X, areas of minimal flood hazard, according to the FEMA Flood Insurance Rate Map of Bernalillo County, New Mexico, Panel No. 35001C0329H, effective date August 16, 2012.
- SOLAR RESTRICTIONS:** No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (Section 14-14-4-7)
- Reference documents:
 - Plat of Atrisco Business Park Unit 3, filed 4/29/1988, Plat Bk. C36, Page 97.
 - Plat of Atrisco Business Park Unit 3, filed 12/15/2003, Plat Bk. 2004C, Page 388.
 - Pld Republic National Title Co. commitment No. 200081 dated 2/10/2020.
 - Adjoining plats and deeds as noted hereon.

EASEMENT NOTES:

- 7' Public Utility Easement by Plat recorded 10/03/1972 in Bk. D5, page 62; and Right of Way Easement granted to A.T. & T. Company recorded 5/13/1930 in Book 112, Page 290; Amended by Modification of Easement recorded 2/13/1973 in Book Misc. 298, Page 635; and assignment to M.S.T.&T. Company, recorded 12/13/1977 in Book Misc. 575, Page 928.
- 10' Public Utility Easement granted to P.S.C.N.M. and M.S.T.&T. Company, recorded 12/07/1976 in Book Misc. 509, Page 421, as Document No. 76-64618 and Book Misc 509, Page 422, as Document No. 76-64619. THIS EASEMENT IS VACATED BY THIS PLAT.
- 20' Public Utility and Drainage Easement, by Plat recorded 10/27/1986 in Book C31, Page 190.
- 90' Public Drainage Easement, by Plat recorded 10/27/1986 in Book C31, Page 190. THIS EASEMENT IS VACATED BY THIS PLAT.
- 35' by 24' Private Ingress, Egress, Drainage and Public Utility Easement by Plat recorded 10/27/1986 in Book C31, Page 190.
- 40' by 30' Common Access Easement, by Plat recorded 4/29/1988 in Book C36, Page 97. THIS EASEMENT IS VACATED BY THIS PLAT.
- 24'x30' Private Common Access Easement by document recorded 5/24/1988 in Book Misc. 624-A, Page 617.
- 10' Underground Utility Easement by document recorded 7/12/1988 in Book 642-A, Page 538 as Document No. 88-62592; amended by Quitclaim of Easement recorded 8/19/2005 in Book A102, Page 1423 as Document No. 2005121785; and by Quitclaim Deed recorded 8/25/2005 in Book A102, Page 3571 as Document No. 2005123935.
- Fifty feet (50') Private Access Easement by Plat recorded 12/15/2004 in Book 2004C, Page 388.

LINE	LENGTH	BEARING
L1	60.00	S00°21'21"W
L2	35.36	N08°29'09"E
L3	15.00	S00°21'21"W
L4	90.00	S89°38'39"E
L5	631.60	N00°21'21"E
L6	191.16	N10°51'47"E
L7	24.42	S89°46'07"E
L8	24.34	S89°46'07"E
L9	193.46	N10°51'47"E
L10	164.68	N00°21'21"E
L11	464.72	N00°21'21"E
L12	44.98	N59°54'31"E
L13	796.86	N00°34'24"W
L14	20.00	N89°38'39"W
L15	785.53	S00°34'24"E
L16	50.53	S59°54'31"W
L17	8.72	S10°49'23"W
L18	26.56	S89°46'07"E
L19	20.18	N89°46'07"W

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	50.32	5789.58	0°29'53"	S01°11'10"W	50.31
C2	39.58	25.00	90°42'20"	N44°24'57"W	35.57
C3	26.78	50.00	30°41'00"	S15°41'51"W	26.46
C4	26.78	50.00	30°41'00"	S14°59'09"E	26.46
C5	39.46	156.67	14°25'47"	S07°34'43"W	39.35

SHEET 2 OF 2

ALPHA PRO SURVEYING LLC
1436 32ND CIRCLE SE, RIO RANCHO, NEW MEXICO 87124
PHONE (505) 892-1076 ALPHAPROSURVEYING.COM
DRAWN BY: GG FILE NO. 20-019

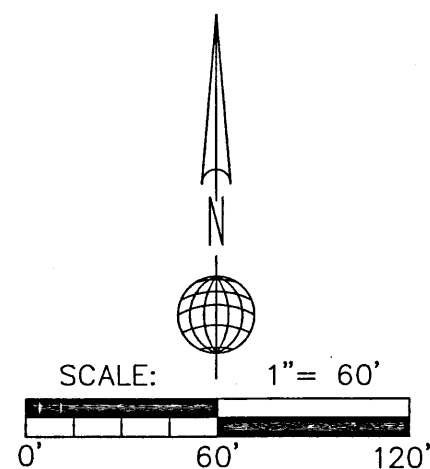
TRACT A, UNIT 1
ATRISCO BUSINESS PARK
FD. 10/31/1972
BK. D5, PG. 62

TRACT F-6-A-1, UNIT 3
ATRISCO BUSINESS PARK
FD. 12/15/2004
BK. 2004C, PG. 388

TRACT F-6-A-2-A
2.6435 Acres

LOT 1-F, UNIT 1
ATRISCO BUSINESS PARK
FD. 1/30/1976
BK. C11, PG. 13

TRACT F-4-A-1
6.2701 Acres



MONUMENT LEGEND

- △ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/PLASTIC CAP STAMPED "G.GRITSKO PS8686", UNLESS OTHERWISE NOTED

AGRS STATION "9_K10"
NM STATE PLANE COORDINATES
N=1485617.623, E=1498430.817
UNITS: US SURVEY FEET
CENTRAL ZONE (NAD 83)
G-G FACTOR: 0.999682230
MAPPING ANGLE: -0°16'22.01"

SITE

Bank of Albuquerque

Big Lots

FastTest Emissions - Coors

**Bus
Shelter**

**Bus
Shelter**

Coors Blvd

Image Landsat / Copernicus

Google Earth

Similar Ex. Case
Las Mananitas Apartments

Ruler

Line

Path

Polygon

Circle

3D path

3D polygon

Measure the circumference or area of a circle on the ground

Radius:

25.98

Feet

Area:

2,112.99

Square Feet

Circumference:

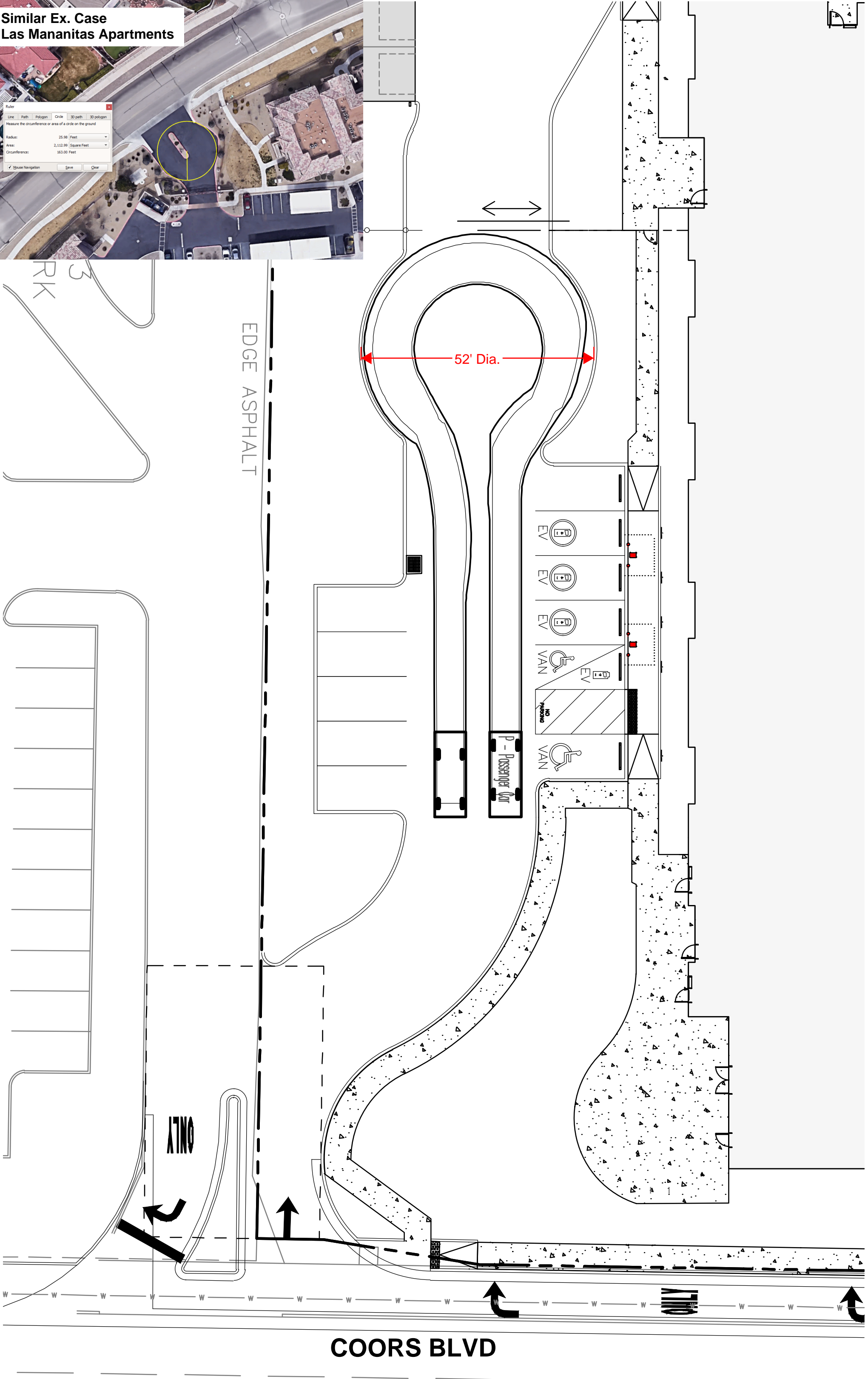
163.00

Feet

☒ Mouse Navigation

Save

Clear



WHEN RECORDED MAIL TO:

THOMAS DEVELOPMENT COMPANY
420 W. MAIN STREET, SUITE 300
BOISE, IDAHO 83702
ATTN: Thomas Mannschreck

Draft Print

12/16/2021 8:42:15 AM

SPACE ABOVE THIS LINE FOR RECORDER'S USE

RECIPROCAL EASEMENT AND ROAD MAINTENANCE AGREEMENT

THIS RECIPROCAL EASEMENT AND ROAD MAINTENANCE AGREEMENT (the “**Easement**”) is made and entered into on _____, 2021, by and between Thomas Development Company, an Idaho corporation (“**Thomas Development**”) and BOK Financial, a public Oklahoma company (“**BOKF**”), with reference to the following facts:

RECITALS

A. Thomas Development is the owner of certain real property situated in the County of Bernalillo, New Mexico, and more particularly described in Exhibit “A” attached hereto and made a part hereof (the “**TDC Parcel**”), in which Thomas Development intends to own and operate an Affordable Housing Multi-Family Residency. Part of the TDC Parcel includes approximately half of an access driveway to Coors Boulevard that services both the TDC Parcel and the BOKF Parcel.

B. BOKF is the owner of certain real property situated in the County of Bernalillo, New Mexico, and more particularly described in Exhibit “B” attached hereto and made a part hereof (the “**BOKF Parcel**”).

C. Thomas Development desires to establish, construct and maintain an access point for ingress and egress to and from both Parcels to Coors Boulevard N.W. benefiting both the TDC Parcel and BOKF Parcel, which easement shall be located as more particularly depicted in Exhibit C (“Access Point”).

D. By this Easement, Thomas Development and BOKF, for the benefit of persons occupying or otherwise using the TDC Parcel and the BOKF Parcel, desire to grant reciprocal access easements to each other, which easements shall be located as more particularly depicted in Exhibit C, and to provide for the maintenance of the access easements and Access Point (collectively “Access Easement”) and the allocation of the costs of such maintenance, all as set forth below.

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Thomas Development and BOKF agree as follows:

EASEMENT

1. Reciprocal Easement. Thomas Development and BOKF hereby grant, to each other, non-exclusive reciprocal Access Easements over, in and through those parts of the roadways as they currently exist or may exist in the future on the TDC Parcel and the BOKF Parcel (“Access Easement Area”), subject to the terms of this Easement.

2. Description. The Access Easement shall be for the use and benefit of the owners and occupants of the TDC Parcel and the BOKF Parcel, and their guests, licensees and invitees.

3. Scope and Purpose. The Access Easement are easements for access and roadway ingress and egress and for the following purposes:

a) Vehicular and pedestrian access over and across the Access Easement Area for ingress to and egress from the TDC Parcel and the BOKF Parcel to Coors Boulevard N.W.;

b) The right of Thomas Development and their successors and assigns, and the contractors or other agents of each, to construct, install, use, maintain, alter, add to, repair, remove, replace, reinstall and reconstruct roadway improvements in, over, under, through and across the TDC Parcel;

c) The right of BOKF and their successors and assigns, and the contractors or other agents of each, to construct, install, use, maintain, alter, add to, repair, remove, replace, reinstall and reconstruct roadway improvements in, over, under, through and across the BOKF Parcel; and

d) Nothing herein shall be interpreted as providing a reciprocal easement or any other right of either Party to the parking area owned and controlled by the other Party.

4. Reasonable Use. Any entrance upon or movement across the Access Easement Area by any person whose rights arise under this Access Easement shall be conducted such that it does not damage the Access Easement Area or any improvements thereon, or unreasonably interfere with the rights of free use and enjoyment of the Access Easement Area or any improvement located thereon by other persons whose right arise under this Access Easement, or otherwise unreasonably increase the burden on the Access Easement Area. Any person damaging the Easement Property shall repair and/or replace any damage they may cause to the Access Easement Area or any improvement thereon such that it meets the reasonable approval of Thomas Development and BOKF. Any activity on the part of any owner of any part of the Access Easement Area which is reasonably related to the development and sale of any portion of the BOKF Parcel or TDC Parcel shall not be deemed an unreasonable interference.

5. Insurance. At all times, each Party and each occupant of the TDC Parcel and the BOKF Parcel shall carry bodily injury and property damage liability insurance, with a combined single occurrence limit of not less than \$2,000,000. All such insurance will be on an occurrence ISO commercial general liability form including without limitation, personal injury and contractual liability coverage for all claims arising from use of the Access Easement Area.

6. Term. This Easement, and the Access Easement granted hereunder, shall be deemed effective for all purposes as of the date first set forth above, and shall continue in perpetuity.

7. Maintenance of Easement Property; Allocation of Costs. Thomas Development and BOKF shall each be responsible for, each at their own cost, the repair and maintenance obligations of their own respective Parcels and the portions of the Access Easement Area contained thereon.

8. Severability of Provisions. In the event any portion of this Access Easement shall be declared by any court of competent jurisdiction (or any referee or judge pro tem appointed as set forth above) to be invalid, illegal or unenforceable, such portion shall be deemed severed from this Access Easement, and the remaining parts hereof shall remain in full force and effect, as fully as though such invalid, illegal or unenforceable portion had never been part of this Access Easement.

9. Governing Law and Interpretation. This Access Easement shall be governed by and interpreted under and in accordance with the laws of the State of New Mexico without regard for any conflicts of laws provisions thereof. This Access Easement shall be interpreted as though fully negotiated and drafted by both parties equally. In the event an ambiguity or question of intent or interpretation arises, no presumption or burden of proof shall arise favoring or disfavoring any party by virtue of the authorship of any of the provisions of this Access Easement.

10. Entire Easement. This Easement constitutes the entire agreement between the parties relating to the above-described easement, maintenance rights and duties, and cost allocations. Any prior agreements, promises, negotiations, or representations not expressly set forth in this Easement are of no force and effect. Any amendment to this Easement shall be of no force and effect unless it is in writing and signed by the parties hereto.

11. Notices. Notices provided for in this Access Easement shall be in writing and shall be deemed sufficiently given either when delivered personally at the appropriate address set forth below (in which event, such notice shall be deemed effective only upon receipt of rejection thereof) or if sent by overnight delivery or by delivery by the USPS, certified mail (in which event, such notice shall be deemed effective only upon receipt of rejection thereof) .

If to Thomas Development:

Thomas Development Co.
420 W. Main Street, Suite 300
Boise, ID 83702

Attn: Thomas Mannschreck

Phone: 208.343.8877

Email:

tmannschreck@thomasdevelopment.com

with a copy to:

Thomas Development Co.
420 W. Main Street, Suite 300
Boise, ID 83702

Attn: Michelle Landay

Phone: 208.284.6781

Email: mlanday@thomasdevelopment.com

If to BOKF:

BOK Financial
101 E. Second Street, 18th Floor
Tulsa, OK 74172
Attn: Lorne Hurov
Phone: 918.588.6519
Email: lhurov@bokf.com

with a copy to:

BOK Financial
3900 Vassar NE
Albuquerque, NM 87107
Attn: Leslie Yardman
Phone: 505.855.0810
Email: lyardman@bokf.com

The addresses and addressees for purposes of this Section may be changed by giving notice of such change in the manner herein provided for giving notice. Unless and until such notice is received, the last address and addressee as stated by notice or as provided herein, if no notice of change has been sent or received, shall be deemed to continue in effect for all purposes hereunder.

12. Binding Nature of Easement. This Easement shall be binding on and shall inure to the benefit of the heirs, executors, administrators, successors, and assigns of the parties hereto.

Executed as of the day and year first above written.

BOK FINANCIAL

A public Oklahoma company

By: _____

Lorne Hurov

Senior Vice President and Director

STATE OF _____)
) SS.

COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 2021,
by _____.

WITNESS my hand and official seal.

My commission expires: _____.

Notary Public

THOMAS DEVELOPMENT COMPANY
an Idaho corporation

By: _____
Thomas C. Mannschreck
President

STATE OF _____)
) SS.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 2021,
by _____.

WITNESS my hand and official seal.

My commission expires: _____.

Notary Public

**EXHIBIT “A”
TO
RECIPROCAL EASEMENT AND ROAD MAINTENANCE AGREEMENT**

DESCRIPTION OF TDC PARCEL

Tract F-4-A Plat of Tracts F-3-A, F-4-A &
F-6-A Atrisco Business Park Unit 3

**EXHIBIT “B” TO
RECIPROCAL EASEMENT AND ROAD MAINTENANCE AGREEMENT**

**DESCRIPTION OF BOKF
PARCEL**

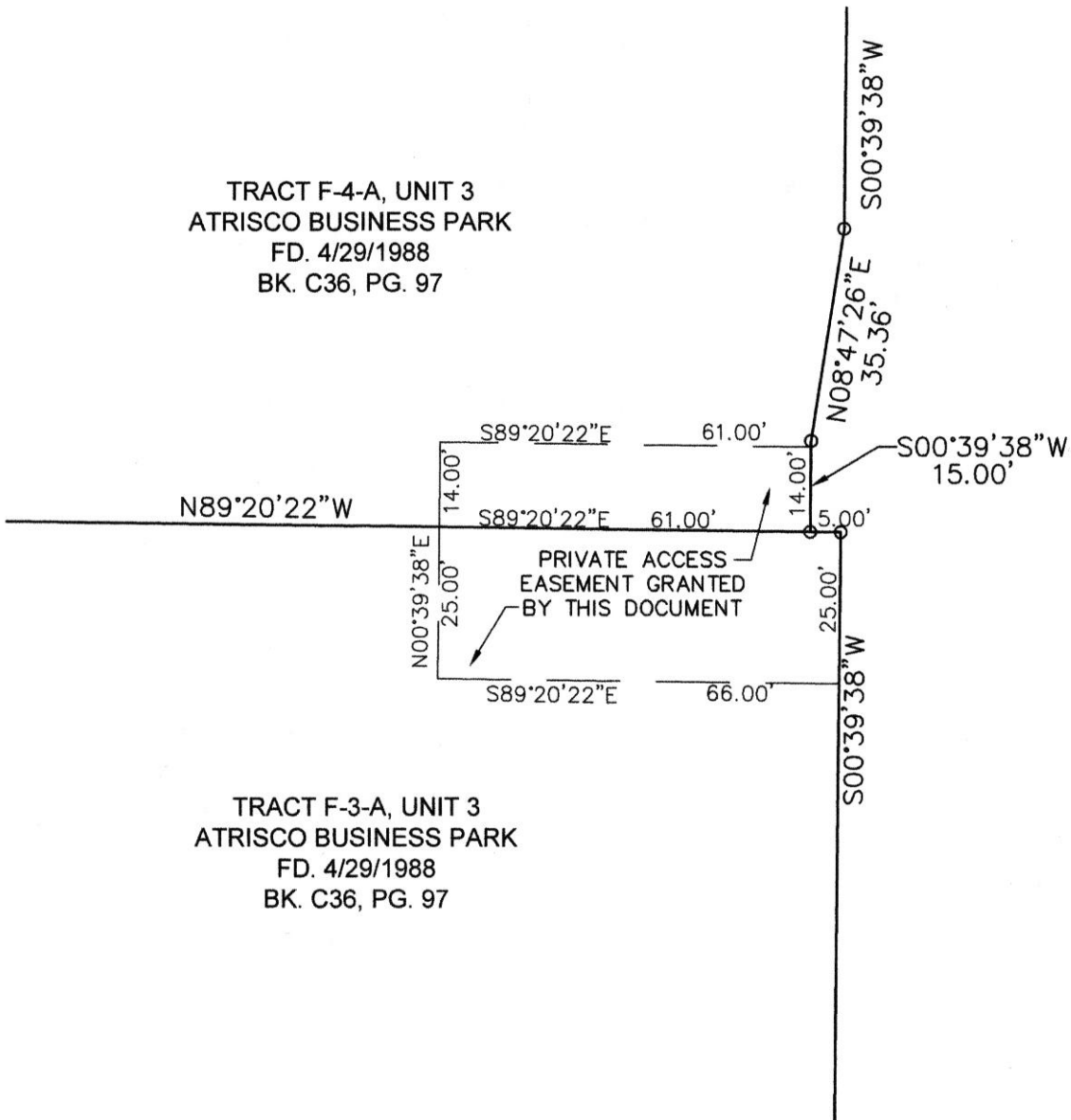
Tract F-3-A Plat of Tracts F-3-A, F-4-A &
F-6-A Atrisco Business Park Unit 3

**EXHIBIT "C" TO
RECIPROCAL EASEMENT AND ROAD MAINTENANCE AGREEMENT**

ACCESS EASEMENT EXHIBIT AND LEGAL DESCRIPTION

EXHIBIT C

TRACT F-4-A, UNIT 3
ATRISCO BUSINESS PARK
FD. 4/29/1988
BK. C36, PG. 97

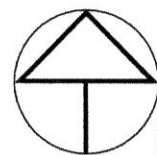


COORS BOULEVARD N.W.

TRACT F-3-A, UNIT 3
ATRISCO BUSINESS PARK
FD. 4/29/1988
BK. C36, PG. 97



Gary E. Gritsko
Dec. 10, 2021



SCALE 1" = 30'

0 10' 20' 30' 60'